

POTVIN HOUSE PROPOSAL @ DANIA BEACH

3001, 45TH STREET, DANIA BEACH, FLORIDA

12-547BUS

03-05-2015

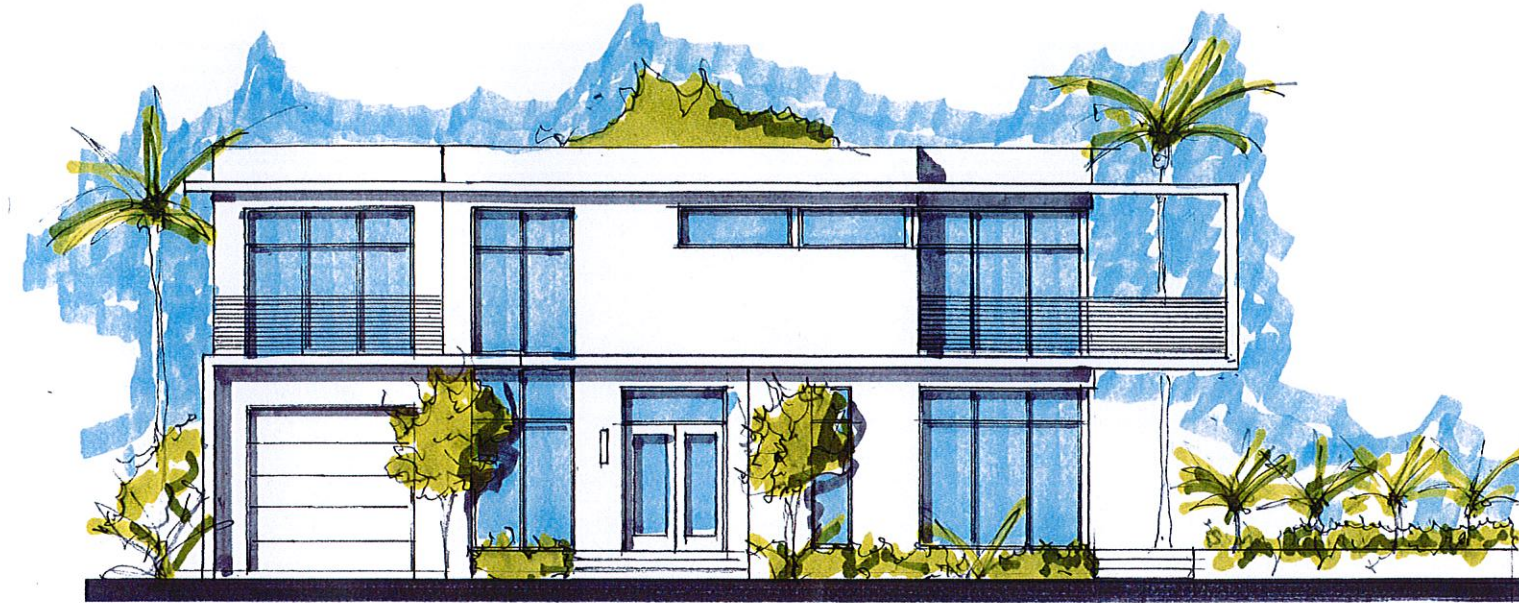
12-547BUS

ISSUE: SITE PLAN REVIEW
 POTVIN HOUSE PROPOSAL @ DANIA BEACH
 3001, 45TH STREET, DANIA BEACH, FLORIDA

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03-05-2015

ISSUE: SITE PLAN REVIEW

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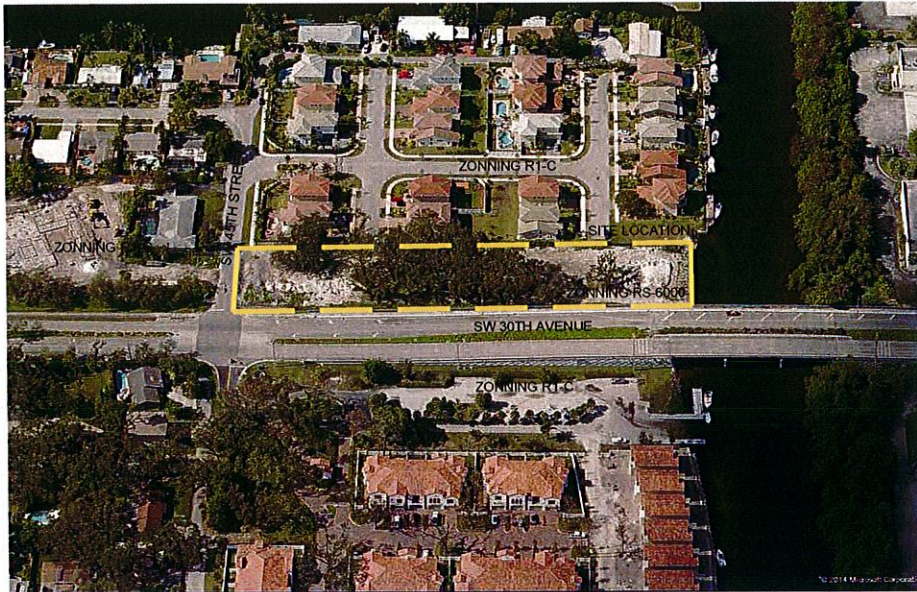
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1 AERIAL IMAGES



2 ZONING REGULATIONS & PROJECT DATA

LEGAL DESCRIPTION THE WEST HALF (1/2) OF THE EAST TWO AND ONE-HALF (2-1/2) ACRES OF THAT PORTION OF TRACT 10, BLOCK 3, SECTION 3, TOWNSHIP SOUTH, RANGE 42 EAST, SOUTH OF THE RIGHT OF THE DANIA CUT-OFF CANAL, AND NORTH OF A LINE RUNNING 14 FEET NORTH OF AND PARALLEL TO THE SOUTH BOUNDARY LINE OF SAID TRACT 10, AS PER PLAT RECORDED IN PLAT BOOK 2, PAGE 32, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA. SAID LAND SITUATE, LYING AND BEING IN BROWARD COUNTY, FLORIDA.

LOT SIZE 55 717 SQ. FT. (NET) + 3594 SQ. FT. (SUBMERGED LAND) = 59 311 SQ. FT. (GROSS) = 1.36 ACRES

DESCRIPTION	VALUE	COMMENTS & CALCULATIONS	CODE OF ORDINANCES	PROVIDED
ZONING	RS-6000			LAND IS 59 311 SF (1.3616 ACRES)
DENSITY	5 DWELLING UNIT / ACRE	1.36 x 5 = 6.8 DU	CITY CODE ARTICLE 205 SEC 205-10	6 DWELLING UNITS
MINIMUM LOT AREA	6,000 SQ. FT.			LOT 1: 11 713 SF LOT 2: 9 188 SF LOT 3: 8 221 SF
VEHICULAR USE AREA			SEC 635-50(Y)4	DRIVEWAYS: 3 553 SF STREET: 13 843 SF WALKWAYS: 2 869 SF
MIN. LOT WIDTH	60 FT.			MINIMUM PROVIDED IS 85'
MIN. LOT DEPTH	90 FT.			MINIMUM PROVIDED IS 96'-8"
MINIMUM FLOOR AREA	800 SQ. FT.		CITY CODE ARTICLE 205 SEC 205-10	HOUSE 1,2,3,4 - Ground Floor: 1 235 SF - 2nd Floor: 1 255 SF - Roof covers: 1 637 SF HOUSE 5 - Ground Floor: 1 235 SF - 2nd Floor: 1 235 SF - Roof covers: 1 235 SF HOUSE 6 - Ground Floor: 990 SF - 2nd Floor: 990 SF - Roof covers: 990 SF
PERVIOUS LANDSCAPED AREA	MIN 37% OF THE TOTAL LOT AREA	37% OF 55 513 SQ. FT. = 20 540 SQ. FT. MIN.	CITY CODE ARTICLE 215 SEC 215-130	21 561 SF. OUT OF 55 717 SF. = 38.7% IMPERVIOUS = 61.3%
	LOT #1 TOTAL AREA: 11 713 SQ. FT.	37% OF 11 713 SQ. FT. = 4 333 SQ. FT. MIN.		4 469 SF. OUT OF 11 713 SF. = 38.2% IMPERVIOUS = 62.8%
	LOT #2 TOTAL AREA: 9 188 SQ. FT.	37% OF 9 188 SQ. FT. = 3 400 SQ. FT. MIN.		3 625 SF. OUT OF 9 188 SF. = 39.5% IMPERVIOUS = 60.5%
	LOT #3 TOTAL AREA: 8 221 SQ. FT.	37% OF 8 221 SQ. FT. = 3 041 SQ. FT. MIN.		3 296 SF. OUT OF 8 221 SF. = 39.9% IMPERVIOUS = 60.1%
	LOT #4 TOTAL AREA: 8 221 SQ. FT.	37% OF 8 221 SQ. FT. = 3 041 SQ. FT. MIN.		3 296 SF. OUT OF 8 221 SF. = 39.9% IMPERVIOUS = 60.1%
	LOT #5 TOTAL AREA: 9 092 SQ. FT.	37% OF 9 092 SQ. FT. = 3 364 SQ. FT. MIN.		3 529 SF. OUT OF 9 092 SF. = 38.8% IMPERVIOUS = 61.2%
	LOT #6 TOTAL AREA: 9 092 SQ. FT.	37% OF 9 092 SQ. FT. = 3 364 SQ. FT. MIN.		3 663 SF. OUT OF 9 282 SF. = 39.5% IMPERVIOUS = 60.5%

3 SETBACKS

DESCRIPTION	VALUE	CODE OF ORDINANCES	PROVIDED
MINIMUM YARD SETBACK	THE FOLLOWING SETBACKS SHALL APPLY TO ALL STRUCTURES OF TWO (2) STORIES OR LESS IN HEIGHT.	CITY CODE ARTICLE XVI RESIDENTIAL ZONING DISTRICTS	15 FT.
FRONT SETBACK	THE FOLLOWING SETBACKS SHALL APPLY TO ALL STRUCTURES OF TWO (2) STORIES OR LESS IN HEIGHT.		25 FT.
REAR SETBACK	THE FOLLOWING SETBACKS SHALL APPLY TO ALL STRUCTURES OF TWO (2) STORIES OR LESS IN HEIGHT.		15 FT.
SIDE SETBACK	THE FOLLOWING SETBACKS SHALL APPLY TO ALL STRUCTURES OF TWO (2) STORIES OR LESS IN HEIGHT.		15 FT.

4 HEIGHT RESTRICTIONS

DESCRIPTION	VALUE	ORDINANCE	PROVIDED
BLDG. HEIGHT	25 FEET	CITY CODE ARTICLE XVI RESIDENTIAL ZONING DISTRICTS SEC. 39-284	24'-8"
MAXIMUM BUILDING HEIGHT: TWO (2) STORIES OR TWENTY-FIVE (25) FEET.			

5 PARKING REQUIREMENTS

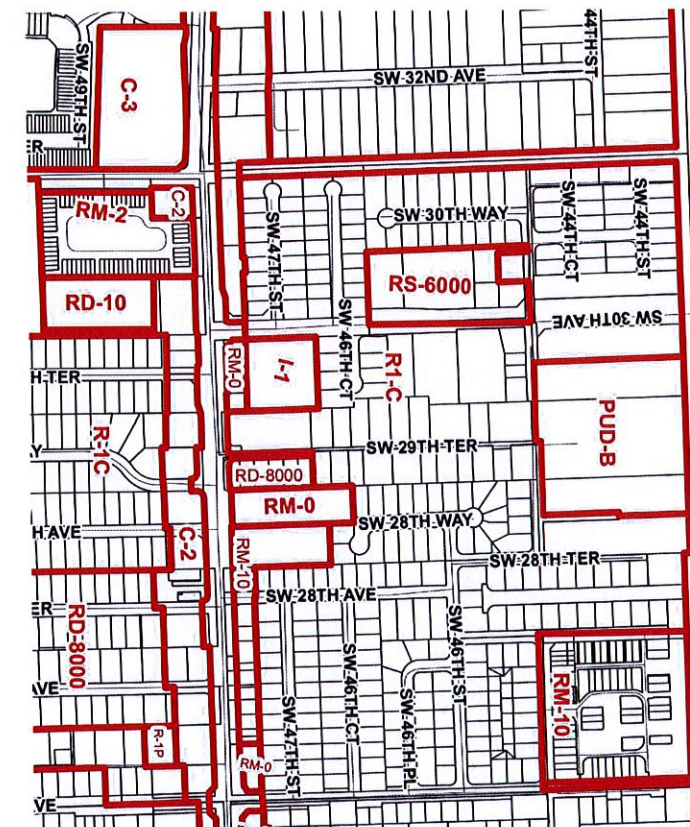
USE	REQUIRED # OF SPACES	REQUIRED # OF SPACES	ORDINANCE	PROVIDED
RESIDENTIAL	2 / 2000 SF + 1/500 SQ. FT. ADDITIONAL	3 / HOUSE	CITY CODE PART II CHAP. XXVIII ARTICLE 265	3 / HOUSE

6 PHASING

PHASES	CIVIL WORK (STREET, DRAINAGE AND SEWER)	JULY 2015 TO AUGUST 2015
1	HOUSE 2 ON LOT 5	AUGUST 2015 TO OCTOBER 2015
2	HOUSE 3 ON LOT 4	OCTOBER 2015 TO DECEMBER 2015
3	HOUSE 1 ON LOT 6	DECEMBER 2015 TO FEBRUARY 2016
4	HOUSE 4 ON LOT 3	FEBRUARY 2016 TO APRIL 2016
5	HOUSE 5 ON LOT 2	FEBRUARY 2016 TO APRIL 2016
6	HOUSE 6 ON LOT 1	FEBRUARY 2016 TO APRIL 2016

* DEPENDING ON THE APPROVAL FROM THE CITY AND SELLING OF THE LANDS.

ZONING MAP



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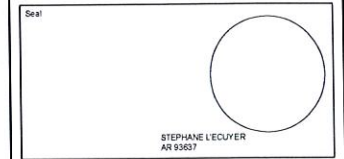
SITE PLAN REVIEW

Client reference number

POTVIN DEVELOPMENT
3001, 45th STREET, DANIA BEACH, FLORIDA
CODE STUDY

Drawn: EQUIPE TLA
Verified: J.F.G.
Approved: S. L'Ecuyer
Project Manager: J.F.G.
Project: 12-547BUS

Field: ARCHITECTURE
Scale: AS SHOWN
Date: 03-27-2015
Dwg no: **A-010**



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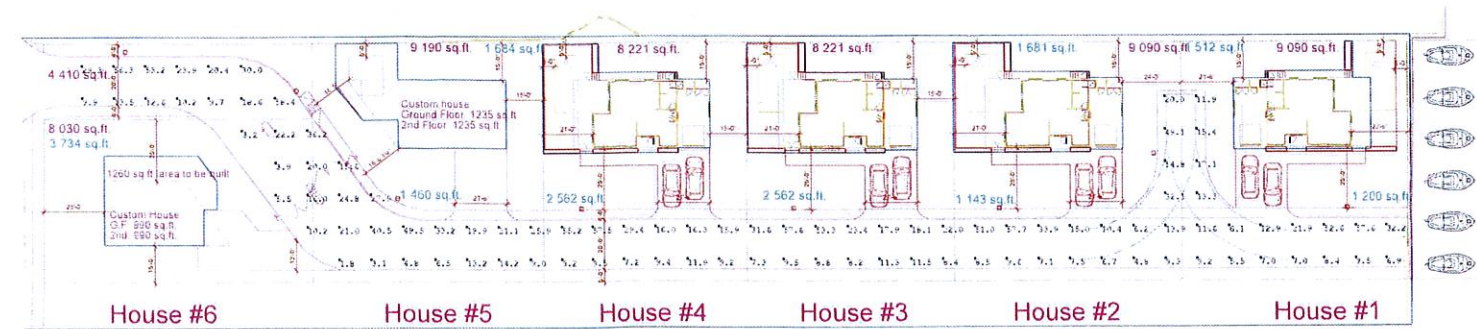
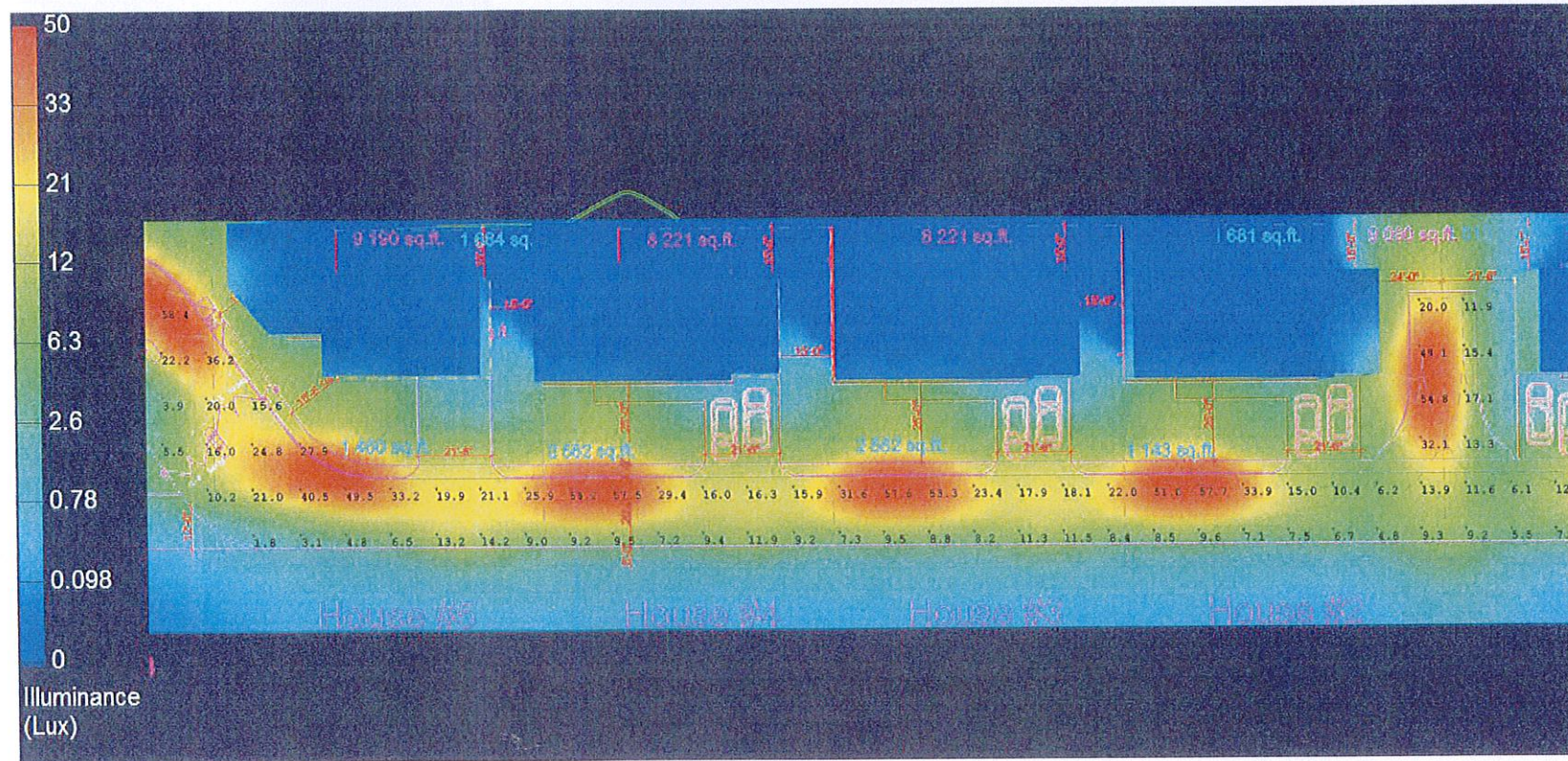
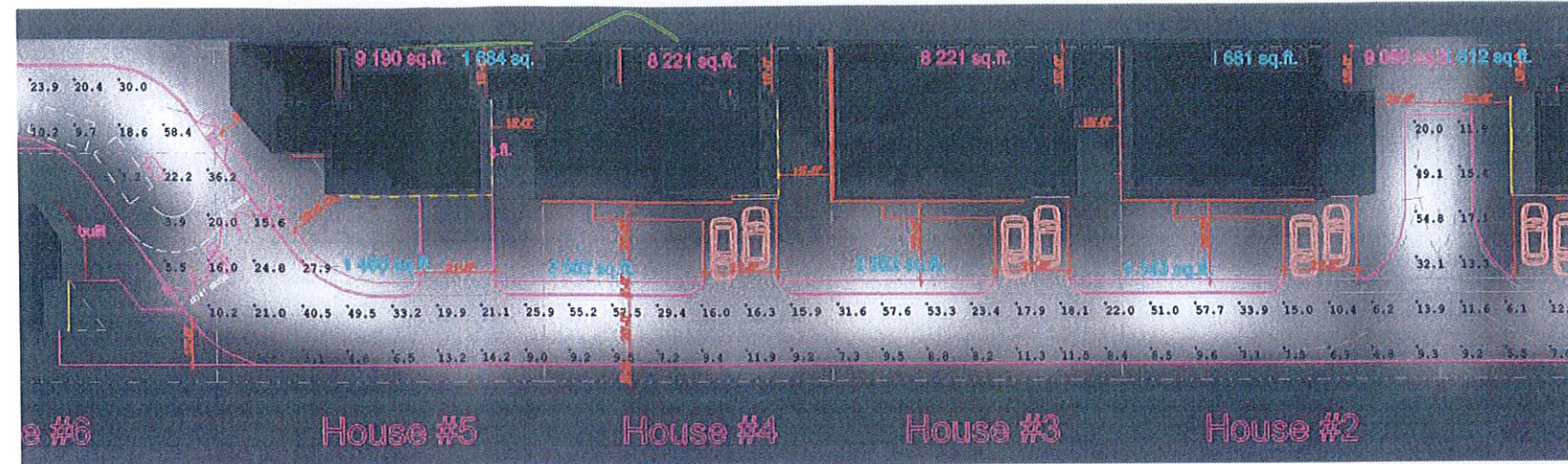
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Client reference number

POTVIN DEVELOPMENT
3001, 45th STREET, DANIA BEACH, FLORIDA
PHOTOMETRIC

Drawn: EQUIPE TLA	Field: ARCHITECTURE
Verified: J.F.G.	Scale: AS SHOWN
Approved: S. L'Ecuyer	Date: 03-27-2015
Project Manager: J.F.G.	Dwg no: A-030
Project: 12-547BUS	



ALL MESURES ARE IN LUX

Symbol	Qty	Label	Description	Arrangement	Lumens	LF
		NXT-48M-350mA-2LB	NXT 48M D X 2LB 350	SINGLE	N.A.	0.910

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
CalcPis_1	Illuminance	Lux	20.35	58.4	1.8	11.31	32.44

1 Lux = 0.0929 footcandles

NXT-48M (48 LEDs)



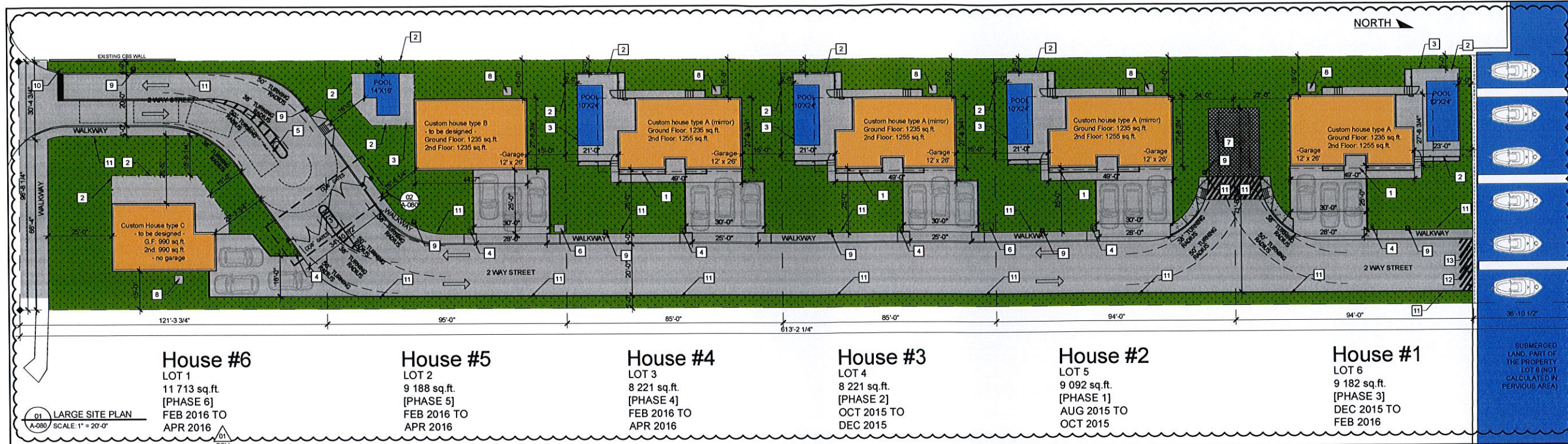
Potvin Project
Lighting Design
LED ROADWAY NXT
48 LED 350ma

Illuminacion X
5a Calle, 15-16 Ave NO #105
San Pedro Sula, Honduras
Tel.: +504 2550-3104
info@iluminacion-x.com



Date: 3/2/2015

Page 1 of 4



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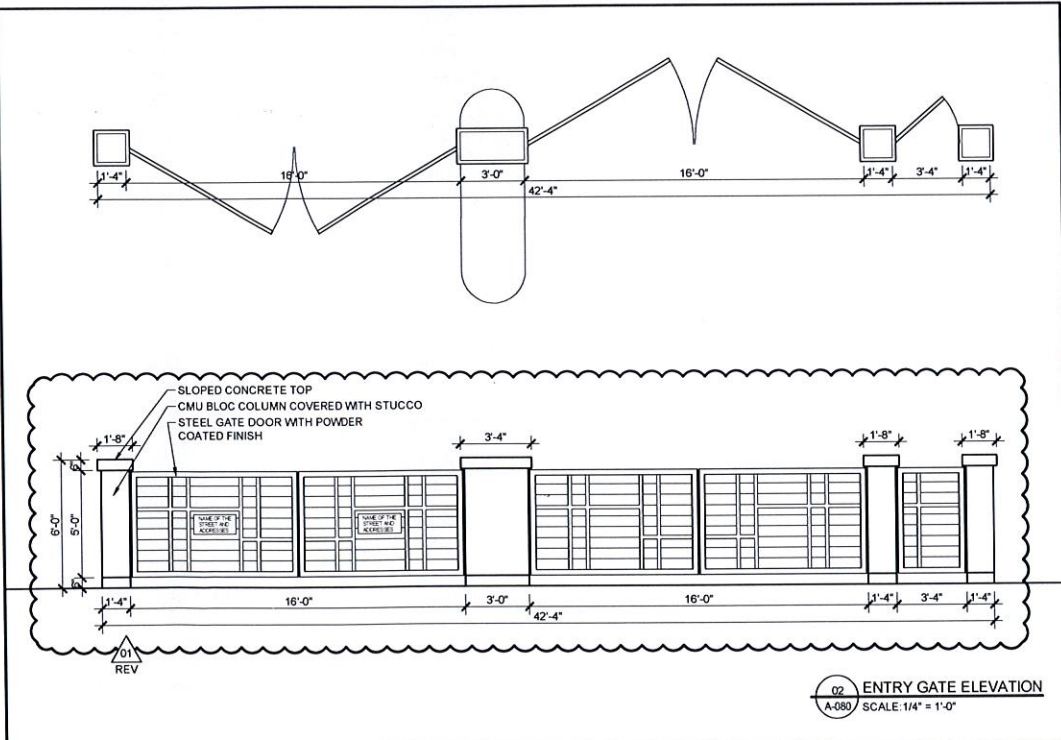
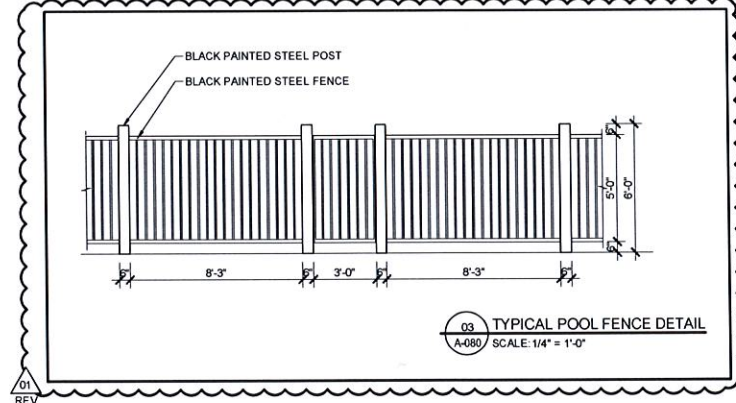
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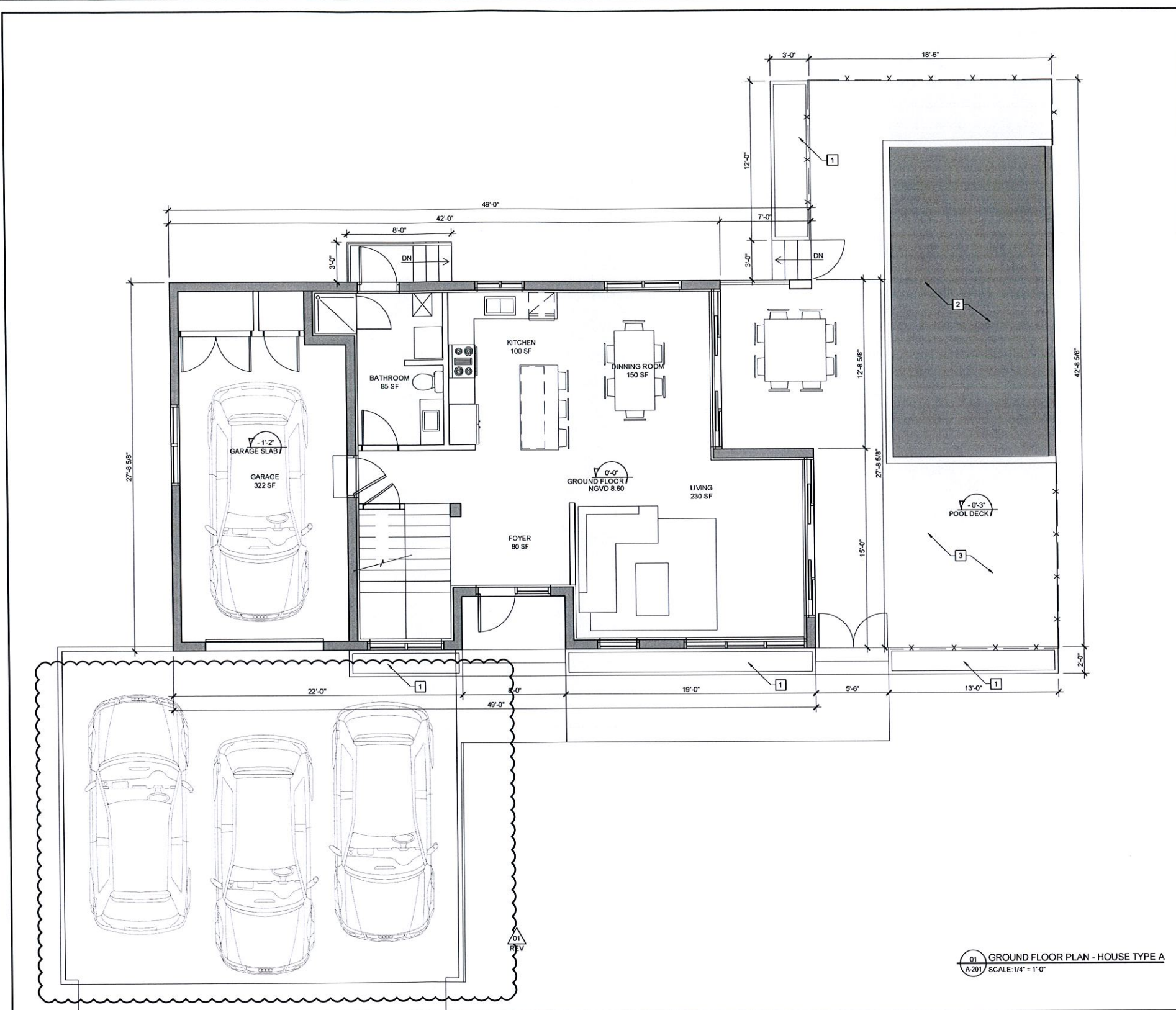
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POTVIN DEVELOPMENT
3001, 45th STREET, DANIA BEACH, FLORIDA
Title
SITE PLAN

Drawn: ÉQUIPE TLA
Verified: J.F.G.
Approved: S. L'Écuyer
Project Manager: J.F.G.
Project: 12-547BUS

Field Scale: ARCHITECTURE AS SHOWN
Date: 03-27-2015
Dwg. no.:
A-080



- LEGEND:**
- LINE OF THE EDGE OF THE ROOF
 - 6' HIGH ARCHITECTURAL STEEL FENCE (SEE DETAIL 03 A-080) WITH SELF-LATCHING GATES
 - POOL TERRACE
 - PRIVATE MAILBOX AND CIVIC ADDRESS VISIBLE FROM THE STREET
 - COMMUNICATION KEYPAD AND KNOX ENTRY SYSTEM FOR FIRE ACCESS.
 - FPL TRANSFORMER
 - STABILIZED ROADWAY, MIN. 32 TONS WEIGHT LOAD
 - CONDENSING UNIT
 - STREET LAMP (REFER TO PHOTOMETRIC PLAN)
 - STOP SIGN (REFER TO CIVIL)
 - NO PARKING SIGN EVERY 60' MIN. (REFER TO CIVIL)
 - DEAD END SIGN (REFER TO CIVIL)
 - ANCHORED STEEL BOLLARD
- GENERAL NOTES:**
- CURBING ARE PROVIDED AT ALL VEHICLE IMPACT AREAS. (REFER TO CIVIL FOR DETAILS)
 - NO SIGNAGE PROVIDED FOR THE DEVELOPMENT.
- THE INSTITUTE OF TRANSPORTATION ENGINEERS (ITE) - AN INTERNATIONAL ORGANIZATION - INDICATES THAT THE PM PEAK HOUR TRIP GENERATION FOR SINGLE FAMILY RESIDENCES CAN BE ESTIMATED BY AN AVERAGE RATE OF 1.00 TRIP / DWELLING UNIT OR BY A LOGARITHMIC EQUATION (LN(T) = 0.9 LN(X) + 0.51). THE AVERAGE RATE RESULTS IN SIX (6) PM PEAK HOUR TRIPS AND THE EQUATION ESTIMATES THAT THIS SITE WILL GENERATE EIGHT (8) PM PEAK HOUR TRIPS.



01 GROUND FLOOR PLAN - HOUSE TYPE A
 A-201 SCALE: 1/4" = 1'-0"

- LEGEND**
- 1] PLANTER
 - 2] INFINITE EDGE POOL
 - 3] POOL TERRACE

W-1	EXTERIOR BEARING WALL
5/8"	EXT. WALL STUCCO FINISH
8"	CMU BLOCK
1-1/2"	VERTICAL METAL FURRING
	+R8 RIGID INSULATION
5/8"	GYPSON BOARD
	TOTAL: R-10, 50 dB
R-1	ROOF
VAR.	ROOF MEMBRANE SYSTEM
1/2"	ROOF SHEATHING
MIN 4"	MIN. R30 RIGID SLOPED INSULATION
6"	CONCRETE SLABS
3-1/2"	METAL STUDS @ 16" O/C
5/8"	GYPSON BOARD
	TOTAL: R-35, 55 dB

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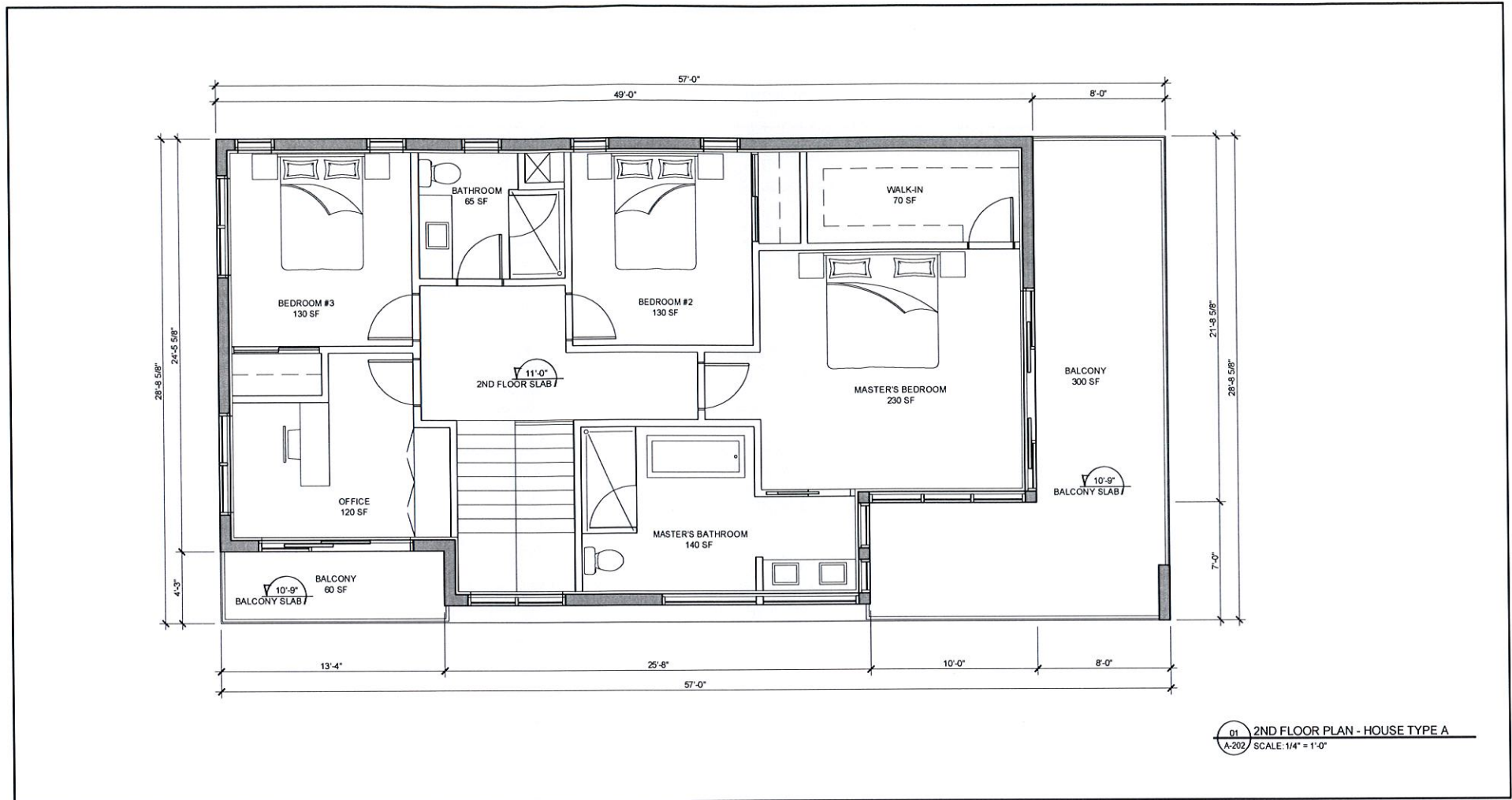
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SITE PLAN REVIEW

Client
 Client reference number

POTVIN DEVELOPMENT
 3001, 45th STREET, DANIA BEACH, FLORIDA
GROUND FLOOR PLAN HOUSE TYPE A

Drawn ÉQUIPE TLA	Field ARCHITECTURE
Verified J.F.G.	Scale AS SHOWN
Approved S. L'Écuyer	Date 03-27-2015
Project Manager J.F.G.	Dwg. no. A-201
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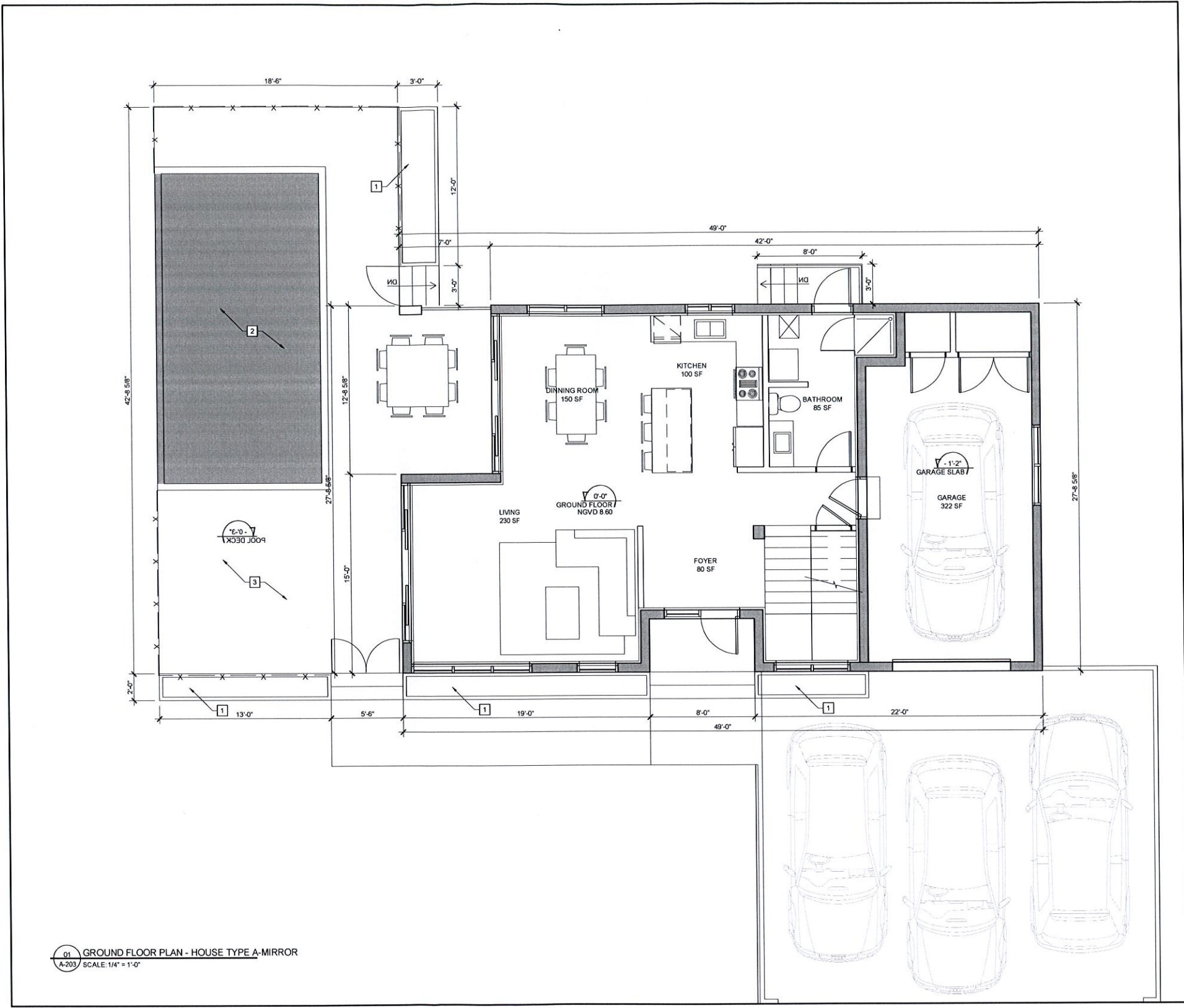
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SITE PLAN REVIEW

Client
Client reference number

Project
POTVIN DEVELOPMENT
3001, 45th STREET, DANIA BEACH, FLORIDA
Title
GROUND 2ND PLAN HOUSE TYPE A

Drawn EQUIPE TLA	Field ARCHITECTURE
Verified J.F.G.	Scale AS SHOWN
Approved S. L'Écuyer	Date 03-27-2015
Project Manager J.F.G.	Dwg no A-202
Project 12-547BUS	



01 GROUND FLOOR PLAN - HOUSE TYPE A-MIRROR
A-203 SCALE: 1/4" = 1'-0"

- LEGEND**
- 1- PLANTER
 - 2- INFINITE EDGE POOL
 - 3- POOL TERRACE

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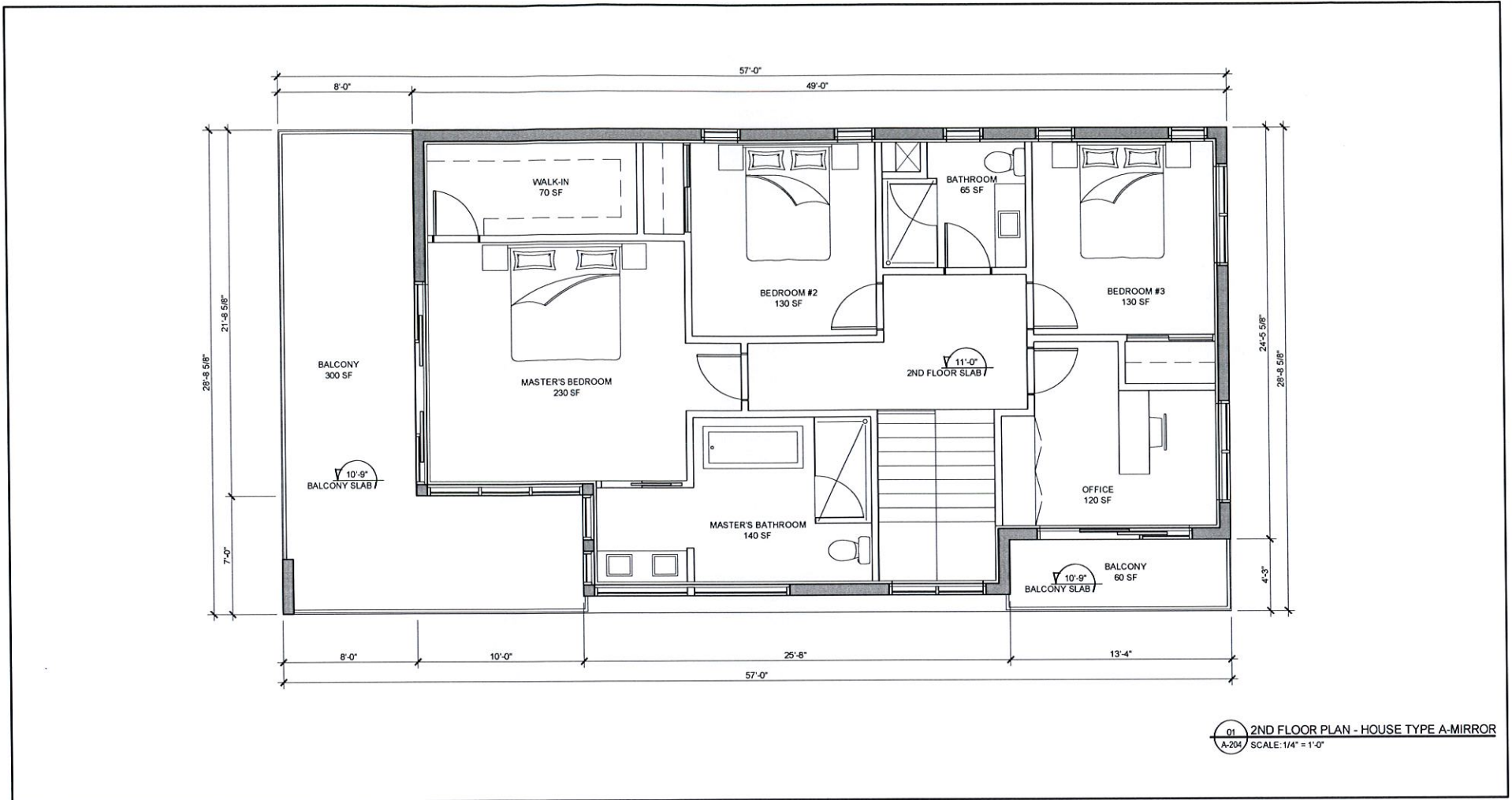
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POTVIN DEVELOPMENT
3001, 45th STREET, DANIA BEACH, FLORIDA
Title
GROUND FLOOR PLAN HOUSE TYPE A-MIRROR

Drawn ÉQUIPE TLA	Field ARCHITECTURE
Verified J.F.G.	Scale AS SHOWN
Approved S. L'Écuyer	Date 03-27-2015
Project Manager J.F.G.	Project 12-547BUS
Sheet no. 01	REV 01



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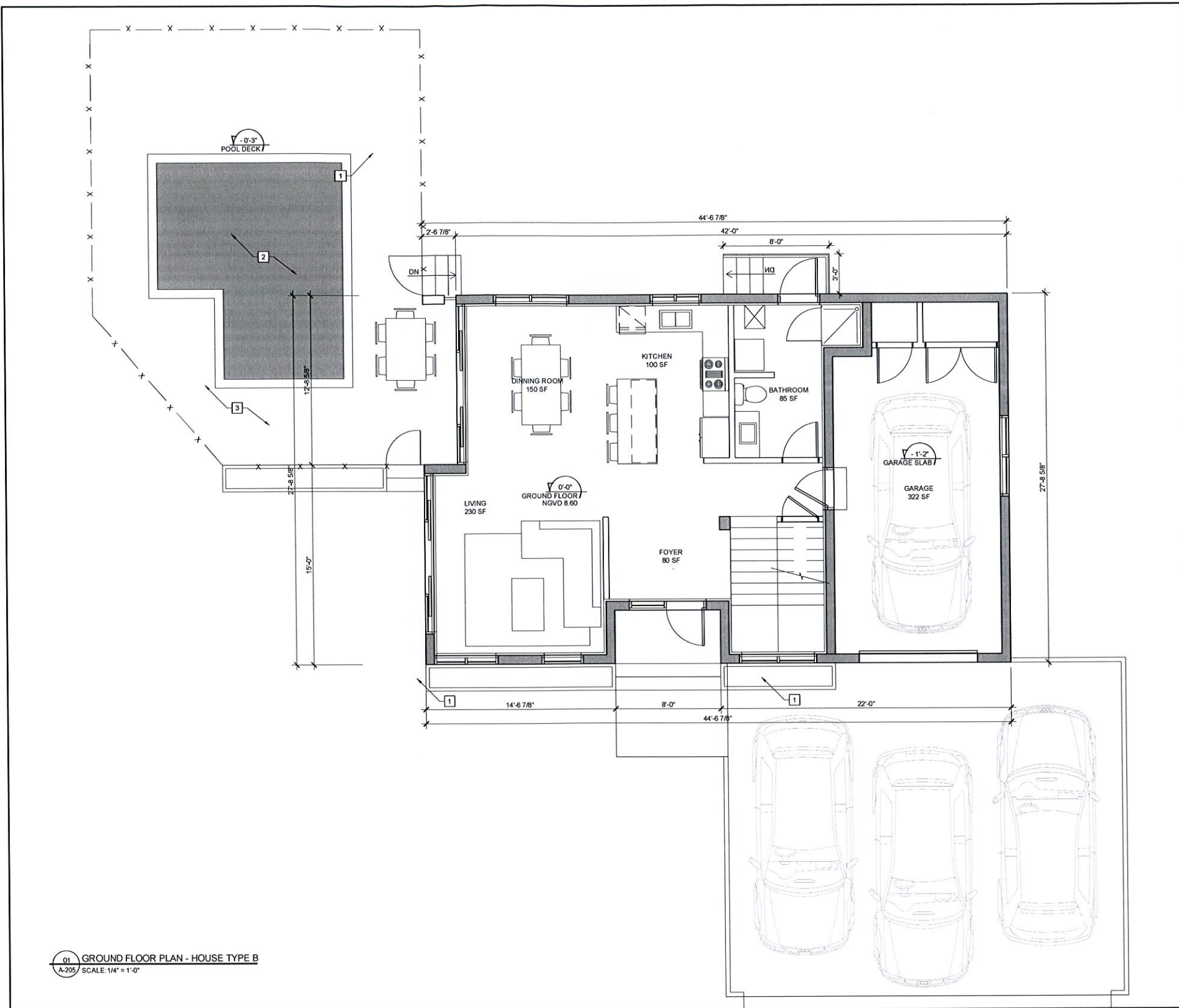
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SITE PLAN REVIEW

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POTVIN DEVELOPMENT
3001, 45th STREET, DANIA BEACH, FLORIDA
Title
2ND FLOOR PLAN HOUSE TYPE A-MIRROR

Drawn EQUIPE TLA	Field ARCHITECTURE
Verified J.F.G.	Scale AS SHOWN
Approved S. L'Écuyer	Date 03-27-2015
Project Manager J.F.G.	Project 12-547BUS

01 REV
A-204



01 GROUND FLOOR PLAN - HOUSE TYPE B
A-205 SCALE: 1/4" = 1'-0"

- LEGEND**
- 1 - PLANTER
 - 2 - POOL
 - 3 - POOL TERRACE

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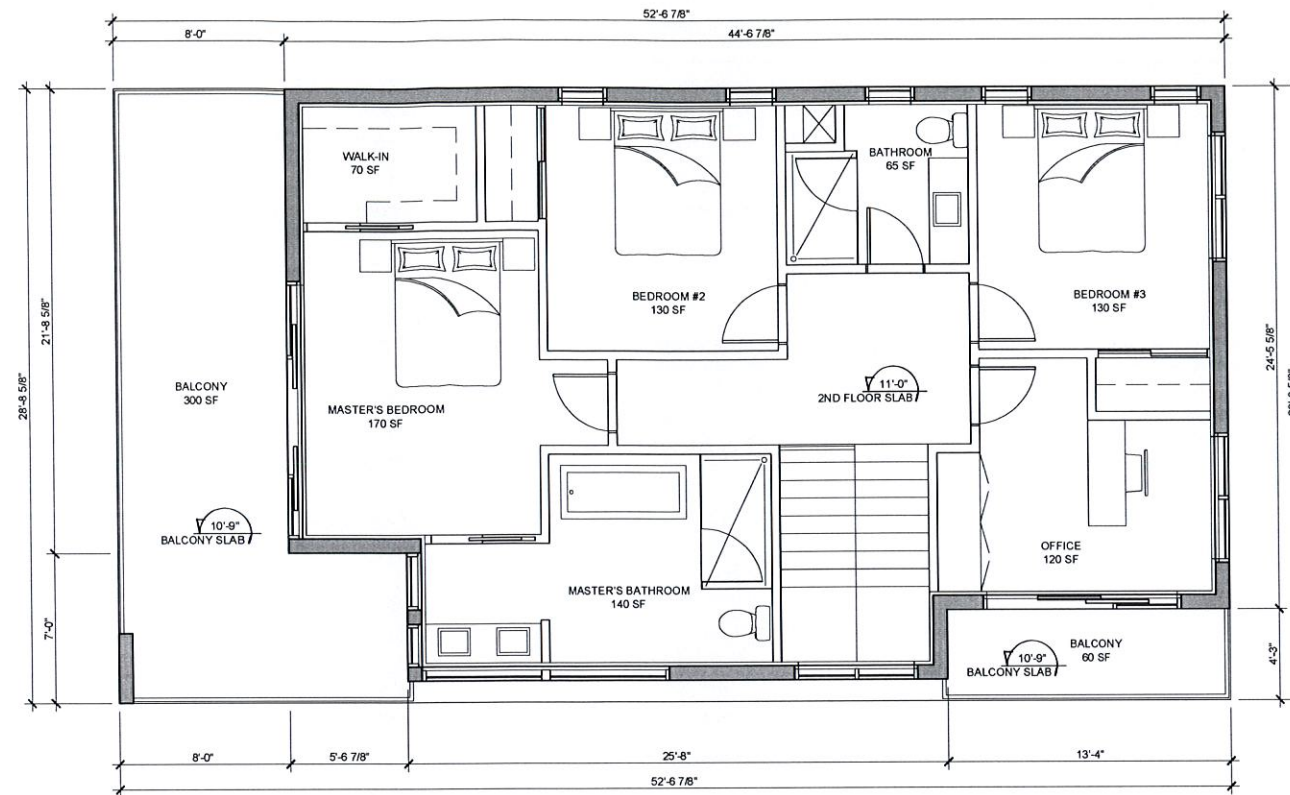
SITE PLAN REVIEW

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POTVIN DEVELOPMENT
3001, 45th STREET, DANIA BEACH, FLORIDA
GROUND FLOOR PLAN HOUSE TYPE B

Drawn EQUIPE TLA	Field ARCHITECTURE
Verified J.F.G.	Scale AS SHOWN
Approved S. L'Ecuyer	Date 03-27-2015
Project Manager J.F.G.	Project 12-547BUS

01 REV
A-205



01 2ND FLOOR PLAN - HOUSE TYPE B
A-206 SCALE: 1/4" = 1'-0"

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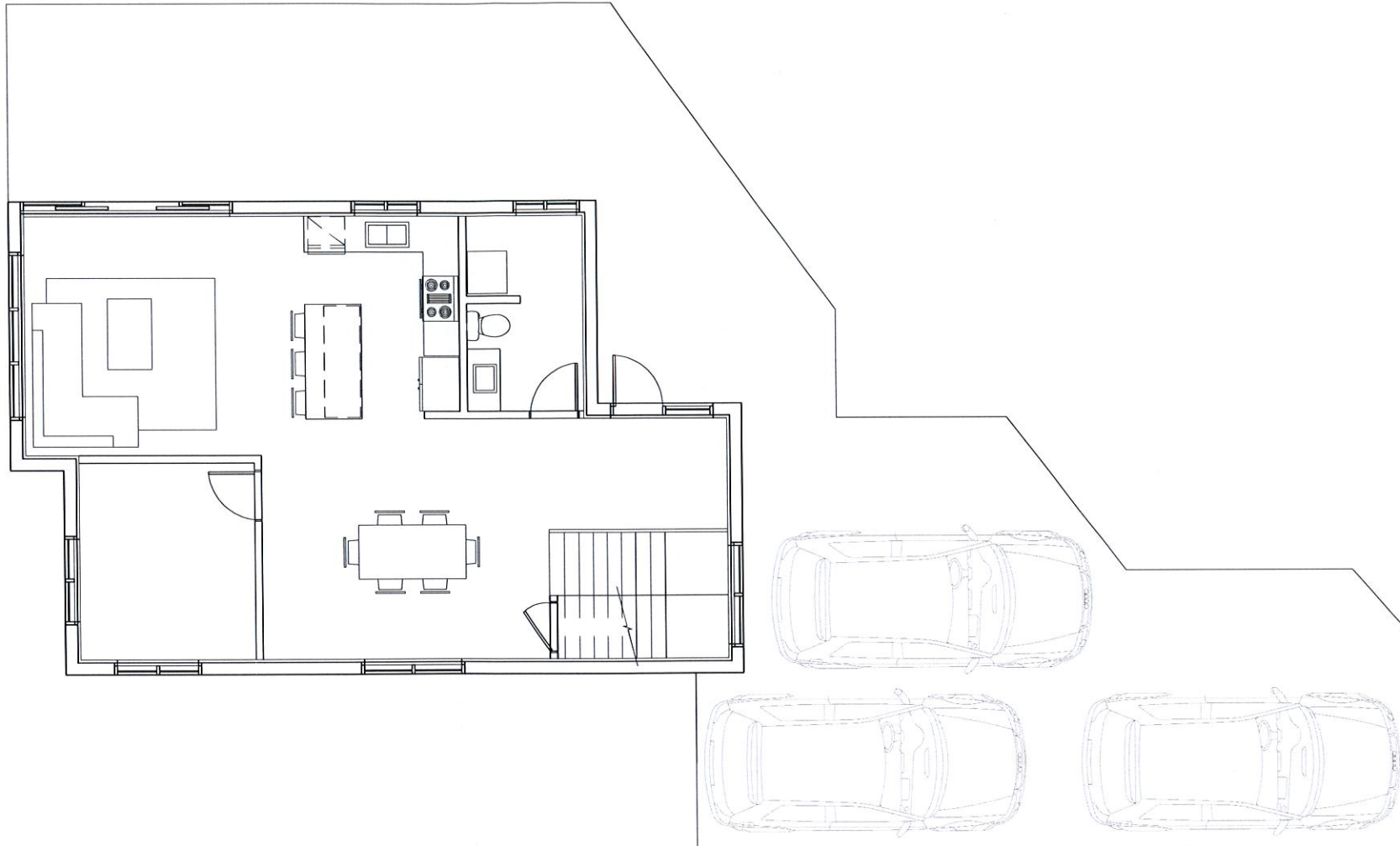
Notes
SITE PLAN REVIEW

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Client reference number

Project
POTVIN DEVELOPMENT
3001, 45th STREET, DANIA BEACH, FLORIDA
Title
GROUND 2ND PLAN HOUSE TYPE B

Drawn EQUIPE TLA	Field ARCHITECTURE
Verified J.F.G.	Scale AS SHOWN
Approved S. L'Écuyer	Date 03-27-2015
Project Manager J.F.G.	Project 12-547BUS

01 REV
A-206



01 GROUND FLOOR PLAN - HOUSE TYPE C
A-207 SCALE: 1/4" = 1'-0"

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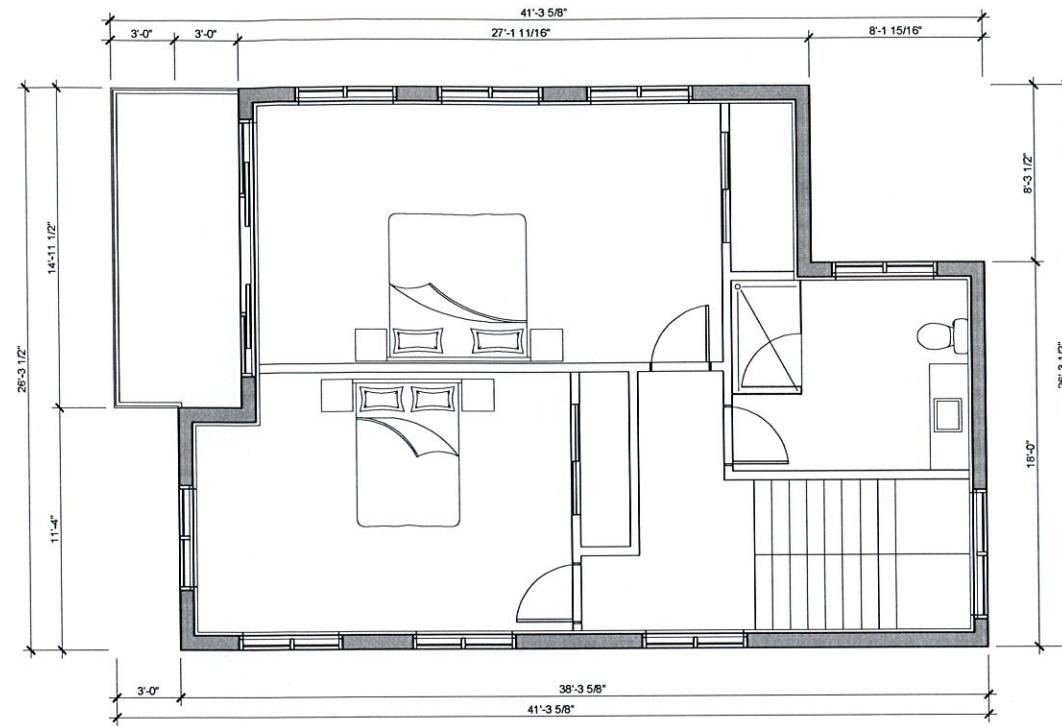
Notes
SITE PLAN REVIEW

Client
Client reference number

Project
POTVIN DEVELOPMENT
3001, 45th STREET, DANIA BEACH, FLORIDA
Title
GROUND FLOOR PLAN HOUSE TYPE C

Drawn EQUIPE TLA	Field ARCHITECTURE
Verified J.F.G.	Scale AS SHOWN
Approved S. L'Écuyer	Date 03-27-2015
Project Manager J.F.G.	Project 12-547BUS

01 REV
A-207



01 2ND FLOOR PLAN - HOUSE TYPE C
A-208 / SCALE: 1/4" = 1'-0"

internationaldesign

idea

engineeringarchitecture

BIG OF No. 21737 ARCH. LICENSE No. A42001156
20900 NE 30th Ave., Suite 914
Aventura, FL 33180
Tel: (305) 792-0015
Fax: (305) 931-0279
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Seal
STEPHANE L'ECUYER
AR 93637

Professionals

REV	DATE	DESCRIPTION	Prepared By	Checked By
01	04-07-15	CITY COMMENTS	MAL	SL

ALL MEASUREMENTS MUST BE VERIFIED BEFORE BEGINNING THE WORK
NO MEASUREMENTS ARE TO BE SCALED DIRECTLY FROM THIS DRAWING

Notes
SITE PLAN REVIEW

Client
Client reference number

Project
POTVIN DEVELOPMENT
3001, 45th STREET, DANIA BEACH, FLORIDA
Title
GROUND 2ND PLAN HOUSE TYPE C

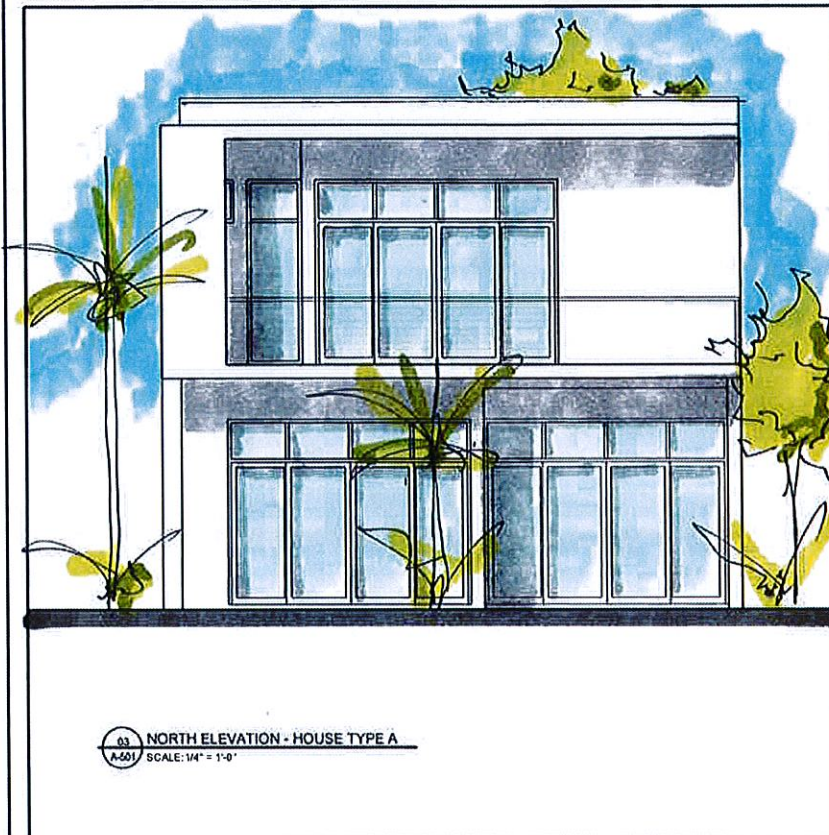
Drawn EQUIPE TLA	Field ARCHITECTURE
Verified J.F.G.	Scale AS SHOWN
Approved S. L'Écuyer	Date 03-27-2015
Project Manager J.F.G.	Dwg. no. 01
Project 12-547BUS	REV A-208



01 SOUTH ELEVATION - HOUSE TYPE A
A-501 SCALE: 1/4" = 1'-0"



02 EAST ELEVATION - HOUSE TYPE A
A-501 SCALE: 1/4" = 1'-0"



03 NORTH ELEVATION - HOUSE TYPE A
A-501 SCALE: 1/4" = 1'-0"



04 WEST ELEVATION - HOUSE TYPE A
A-501 SCALE: 1/4" = 1'-0"

international **idea** architecture
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 Aventura, FL 33180
 Tel: (305) 792-0015
 Fax: (305) 931-0219
 WWW.ABSOLUTE-IDEA.COM

STEPHANE L'ECUYER
 AN 65637

Professionals

REV	DATE	DESCRIPTION	Prepared By	Checked By

ALL MEASUREMENTS MUST BE VERIFIED BEFORE BEGINNING THE WORK
 NO MEASUREMENTS ARE TO BE SCALED DIRECTLY FROM THIS DRAWING

SITE PLAN REVIEW

Check reference number

POTVIN DEVELOPMENT
 3001, 45th STREET, DANIA BEACH, FLORIDA
ELEVATIONS - HOUSE TYPE A

LEGEND:
 ARCHITECTURAL WHITE CONCRETE OVERHANG
 WHITE PAINTED STUCCO PARAPET
 STAINLESS STEEL GUARD RAIL
 WHITE PAINTED STUCCO FINISH
 INFINITY EDGE POOL
 WOOD FINISH UNDER OVERHANG AND BALCONIES
 EXISTING SEAWALL
 * ALL WINDOW FRAME TO BE CHARCOAL GRAY ALUMINUM

Drawn: EQUIPE TLA
 Verified: J.F.G.
 Appr'd: S. L'Ecuyer
 Project Manager: J.F.G.
 Field: ARCHITECTURE
 Scale: AS SHOWN
 Date: 03-27-2015
 Project: **A-501**
 12-547BUS



international ARCHITECTURE

idea

engineered architecture

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Aventura, FL 33180
Tel: (305) 792-0015
Fax: (305) 931-0279
WWW.ABSOLUTE-IDEA.COM

Stamp area with a circular seal and the text: 'STEPHANE L'ECUYER ARCHITECT'

Professionals

REV	DATE	DESCRIPTION	Prepared By	Checked By

ALL MEASUREMENTS MUST BE VERIFIED BEFORE BEGINNING THE WORK. NO MEASUREMENTS ARE TO BE SCALED DIRECTLY FROM THIS DRAWING.

SITE PLAN REVIEW

Drawn: _____
Date reference number: _____

Project: **POTVIN DEVELOPMENT**
3001, 45th STREET, DANIA BEACH, FLORIDA

Title: **ELEVATIONS HOUSE TYPE A-MIRROR**

Drawn: EQUIPE TLA
Checked: J.F.G.
Approved: L'Écuyer

Field: ARCHITECTURE
Scale: AS SHOWN
Date: 03-27-2015

Project Manager: J.F.G.

Project: **12-547BUS**

Sheet: **A-502**



01 NORTH ELEVATION - HOUSE TYPE B
A-503 SCALE: 1/4" = 1'-0"



02 EAST ELEVATION - HOUSE TYPE B
A-503 SCALE: 1/4" = 1'-0"



03 SOUTH ELEVATION - HOUSE TYPE B
A-503 SCALE: 1/4" = 1'-0"



04 WEST ELEVATION - HOUSE TYPE B
A-503 SCALE: 1/4" = 1'-0"

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STEFHANE L'ECUYER
ARCHITECT

Professionals

REV	DATE	DESCRIPTION	Drawn By	Check By

ALL MEASUREMENTS MUST BE VERIFIED BEFORE BEGINNING THE WORK. NO MEASUREMENTS ARE TO BE SCALED DIRECTLY FROM THIS DRAWING.

SITE PLAN REVIEW

Cart reference number

POTVIN DEVELOPMENT
3001, 45th STREET, DANIA BEACH, FLORIDA
ELEVATIONS HOUSE TYPE B

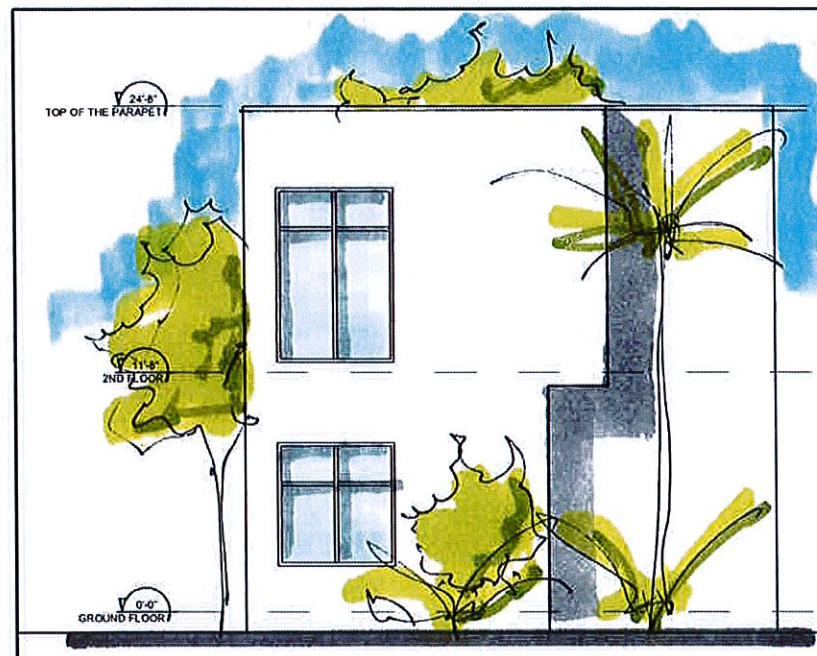
Drawn: EQUIPE TLA	Field: ARCHITECTURE
Checked: J.F.G.	Scale: AS SHOWN
Approved: L'Ecuyer	Date: 03-27-2015
Project Manager: J.F.G.	Sheet No: A-503
Project: 12-547BUS	REV



01 SOUTH ELEVATION - HOUSE TYPE C
A-504 SCALE 1/4" = 1'-0"



02 WEST ELEVATION - HOUSE TYPE C
A-504 SCALE 1/4" = 1'-0"



03 NORTH ELEVATION - HOUSE TYPE C
A-504 SCALE 1/4" = 1'-0"



04 EAST ELEVATION - HOUSE TYPE C
A-504 SCALE 1/4" = 1'-0"

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architecture

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Tel: (305) 792-0015
Fax: (305) 831-0279
WWW.ABSOLUTE-IDEA.COM

Stephane L'Ecuyer
ARCHITECT

Professional

REV.	DATE	DESCRIPTION	By	Chk

ALL MEASUREMENTS MUST BE VERIFIED BEFORE BEGINNING THE WORK. NO MEASUREMENTS ARE TO BE SCALED DIRECTLY FROM THE DRAWING.

Notes

SITE PLAN REVIEW

Client reference number

Project

POTVIN DEVELOPMENT

3001 45th STREET, DANIA BEACH, FLORIDA

Title

ELEVATIONS HOUSE TYPE C

Drawn EQUIPE TLA	Field ARCHITECTURE
Verified J.F.G.	Scale AS SHOWN
Approved S. L'Ecuyer	Date 03-27-2015
Project Manager J.F.G.	Page no 01
Project 12-547BUS	REV A-504

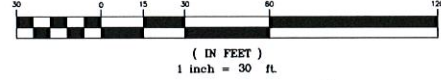


prepared by
McLAUGHLIN ENGINEERING COMPANY (LB#285)
 400 J.W. McLaughlin AVENUE (N.E. 3rd AVENUE),
 FORT LAUDERDALE, FLORIDA, 33301
 PHONE: (954) 763-7611 FAX: (954) 763-7615

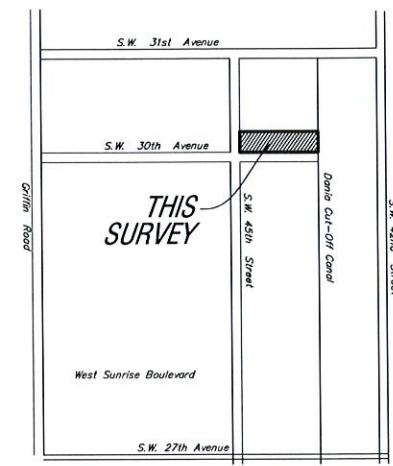
RECORD LAND SURVEY

Parcel "A" POTVIN PLAT (P.B. 181, Pg. 44, B.C.R.)

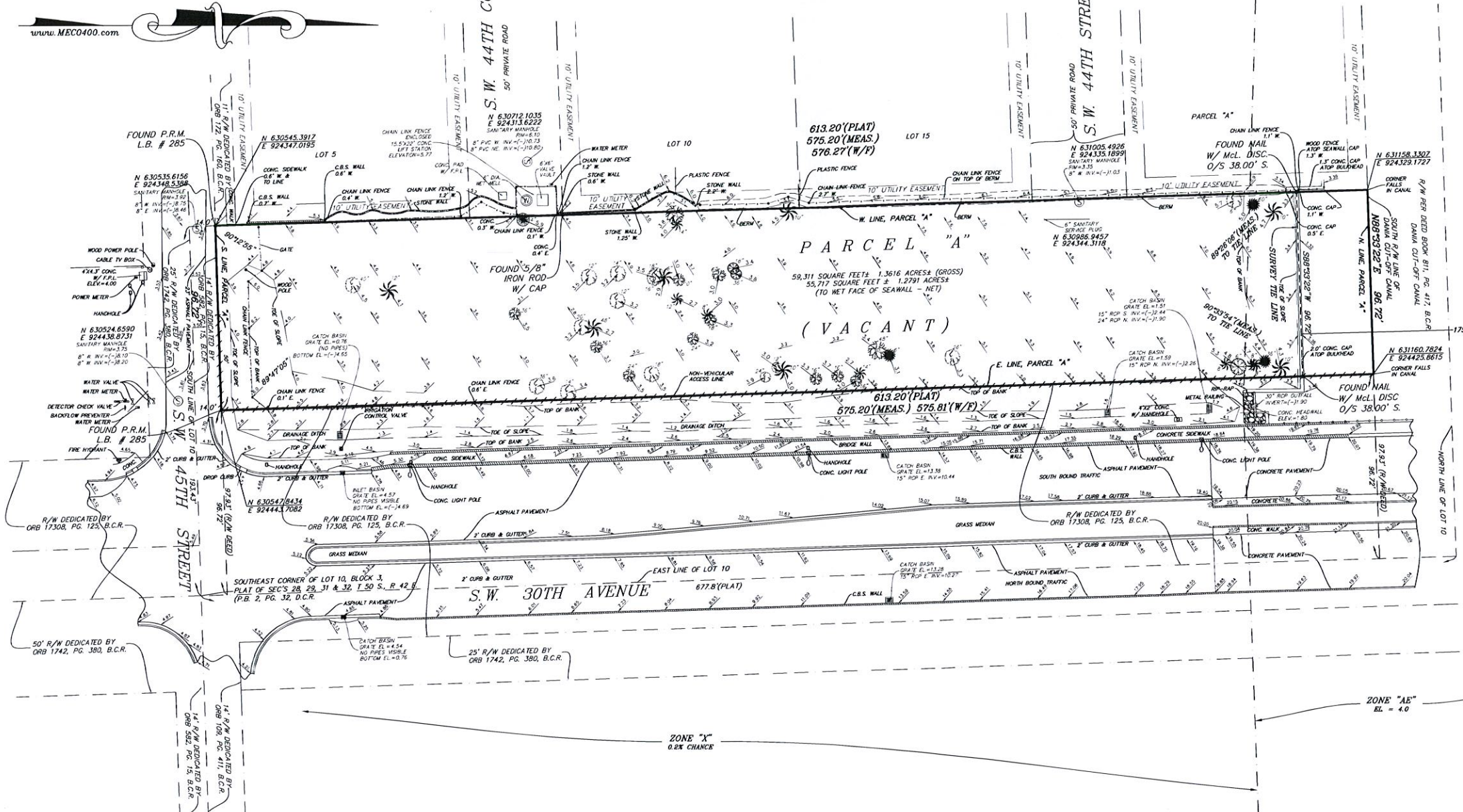
GRAPHIC SCALE



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Location Sketch
 Not To Scale



Legal Description

All of Parcel "A", POTVIN PLAT, as recorded in Plat Book 181, Page 44, of the Public Records of Broward County, Florida.
 Said land situate, lying and being in the city of Dania Beach Broward County, Florida and containing 59,311 square feet or 1.3616 acres, more or less.

TREE SYMBOLS

- INDICATES GROUND ELEVATION AT TREE
- INDICATES DIAMETER (D.B.H.)
- BLACK OLIVE
- FICUS TREE
- OAK TREE
- PALM TREE
- CLUSTER OF PALM TREES
- UNKNOWN TREE

NOTES:

- 1) This survey reflects all easements and rights-of-way, as shown on above referenced record plat(s). The subject property was not abstracted for other easements, road reservations or rights-of-way of record by McLaughlin Engineering Company.
- 2) Underground improvements if any not located.
- 3) This drawing is not valid unless sealed with an embossed surveyors seal.
- 4) Boundary survey information does not infer Title or Ownership.
- 5) All iron rods 5/8", unless otherwise noted.
- 6) Reference Bench Mark: Broward County Benchmark # 3689. Elevation=22.19 (NGVD 29), Elevation=20.60 (NAVD 88).
- 7) Elevations shown refer to North American Vertical Datum (1988), and are indicated thus: Elev. = 9.87
- 8) This property lies in Flood Zones "AE", Elev.=4.0 and "X", "0.2% Chance Annual Flood Hazard" Per Flood Insurance Rate Map No. 1201100558H Dated: August 18, 2014, Community Panel No. 125093 Index Map Dated: August 18, 2014.
- 9) Sanitary asault information along the West property line, supplied by client. (Could not field verify)

LEGEND

- Δ = CENTRAL ANGLE (DELTA)
- R = RADIUS
- A OR L = ARC LENGTH
- CH.BRG = CHORD BEARING
- TAN.BRG = TANGENT BEARING
- P.O.C. = POINT OF COMMENCEMENT
- P.O.B. = POINT OF BEGINNING
- W/MCL. CAP = WITH McLAUGHLIN ENGINEERING CO. CAP
- P.R.M. = PERMANENT REFERENCE MONUMENT
- CONC. = CONCRETE
- C.I.S. = CONCRETE, BLOCK AND STUCCO
- I.C.V. = IRRIGATION CONTROL VALVE
- W.M. = WATER METER
- B.F.P. = BACK FLOW PREVENTOR
- ELEV. = ELEVATION
- O/S = OFFSET
- A/C = AIR CONDITIONING
- CL. = CENTERLINE OF RIGHT-OF-WAY
- F.P.L. = FLORIDA POWER AND LIGHT CO.
- S.B.T. = SOUTHERN BELL TELEPHONE
- B.C.R. = BROWARD COUNTY RECORDS
- D.C.R. = DADE COUNTY RECORDS
- P.B.R. = PALM BEACH COUNTY RECORDS
- O.R. = OPTICAL RECORDS BOOK
- FIG. = PAGE
- R/W = RIGHT-OF-WAY
- C.O. = CLEAN OUT
- C.L.F. = CHAIN LINK FENCE
- P.C.D. = POLLUTION CONTROL DEVICE

OFFICE NOTES

FIELD BOOK NO. TDS, Print# LB# 315/88
 JOB ORDER NO. U-7702, V-0021
 CHECKED BY: _____
 DRAWN BY: RDR, EJJ

CERTIFICATION

We hereby certify that this survey meets the "Standards of Practice" as set forth by the Florida Board of Professional Surveyors and Mappers in Chapter 5J-17.05 Florida Administrative Code, pursuant to Section 472.027, Florida Statutes.
 Dated at Fort Lauderdale, Florida, this 13th day of December, 2012.
 Revised to add sanitary asault information and additional elevations taken this 16th day of April, 2013.
 General Revision made along Westerly property line this 23rd day of May, 2013.
 Resurveyed this 16th day of February, 2015.
 Additional information added this 25th day of March, 2015.

McLAUGHLIN ENGINEERING COMPANY

JERALD A. McLAUGHLIN
 Registered Land Surveyor No. 5269
 State of Florida.

13 - 3 - 004 (NAVD 88)

DEDICATION

CANADA PROVINCE OF QUEBEC SS KNOW ALL MEN BY THESE PRESENTS: That the CAROL POTVIN, a married man owner of the lands described in and shown as included in this plat, has caused said lands to be subdivided and platted as shown hereon, said plat to be known as "POTVIN PLAT", being a replat of a portion of Tract 10, Block 3, in Section 29, Township 50 South, Range 42 East, as per PLAT OF SECTIONS 28, 29, 31 AND 32, T. 50S., R. 42E., recorded in Plat Book 2, Page 32, of the public records of Dade County, Florida.

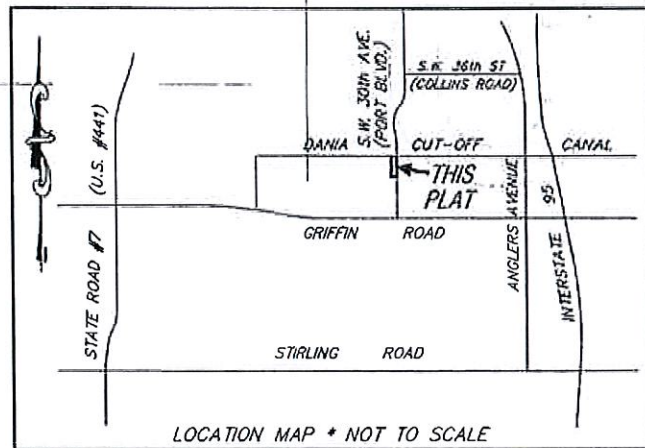
IN WITNESS WHEREOF: I hereunto set our hand in the PROVINCE of Quebec, Canada, this 20 day of NOVEMBER, 2013

CAROL POTVIN: [Signature] Owner
Witness: [Signature] Name printed: LUCIE CHAPMAN
Witness: [Signature] Name printed: LOUISE STILSON

ACKNOWLEDGMENT

CANADA PROVINCE OF QUEBEC SS The foregoing instrument was acknowledged before me this 20 day of NOVEMBER, 2013, by Carol Potvin, a married man.

NOTARY PUBLIC [Signature] PROVINCE OF QUEBEC, CANADA
Name of Notary printed: SEAN WILSON
My Commission Expires: MARCH 2014 (954-936-0904)



"POTVIN PLAT"
A REPLAT OF A PORTION OF TRACT 10, BLOCK 3,
PLAT OF SECTIONS 28, 29, 31 AND 32,
T. 50 S., R. 42 E.
(PLAT BOOK 2, PAGE 32, D.C.R.)
IN SECTION 29, TOWNSHIP 50 SOUTH, RANGE 42 EAST
CITY OF DANIA BEACH, BROWARD COUNTY, FLORIDA
MAY 2013



PREPARED BY:
McLAUGHLIN ENGINEERING COMPANY
400 N.E. 3rd AVENUE
FORT LAUDERDALE, FLORIDA 33301
TEL. (954) 763-7611 FAX (954) 763-7615

SURVEY FILE NO. 13-3-004 McL JOB NO. U-8100

CITY PLANNING AND ZONING BOARD

THIS IS TO CERTIFY: That this plat has been approved by the City Planning and Zoning Board of DANIA BEACH, Florida, this 21st day of August, 2013.
By: [Signature] Chairman, Name Printed Timothy A. Palumbo this 18th day of DECEMBER, 2013.

CITY COMMISSION

STATE OF FLORIDA SS THIS IS TO CERTIFY: That this plat has been accepted and approved for record by the CITY COMMISSION OF COUNTY OF BROWARD THE CITY OF DANIA BEACH, FLORIDA, in and by ORDINANCE NO. 2013-013, adopted by the said City Commission, this 30th day of OCTOBER, 2013.

No building permits shall be issued for the construction, expansion, and/or conversion of a building within this plot until such time as the developer provides this municipality with written confirmation from Broward County that all applicable impact fees have been paid or are not due.

By: [Signature] Walter B. Duke, III Mayor, this 26 day of NOVEMBER, 2013. INSTR # 112173505.
Attest: [Signature] Louise Stilson City Clerk, this 26 day of NOVEMBER, 2013. Page 1 of 2
Recorded 03/21/2014 at 09:09 AM

CITY ENGINEER

This plat is approved and accepted for record this 19th day of December, 2013.
By: [Signature] Ronnie Navarro City Engineer, Florida P.E. Registration # 67642

BROWARD COUNTY ENVIRONMENTAL PROTECTION AND GROWTH MANAGEMENT DEPARTMENT

This plat is approved and accepted for record this 18th day of MARCH, 2014.

By: [Signature] Director / Designee

BROWARD COUNTY HIGHWAY CONSTRUCTION AND ENGINEERING DIVISION

This plat has been reviewed for conformity with Chapter 177, Part 1, Florida Statutes. This plat has been approved and accepted for record.

By: [Signature] 3/17/14 Robert P. Legg, Jr. (date) Professional Surveyor and Mapper Florida Registration Number LS 4030
By: [Signature] 3/18/14 Richard Tornese (date) Director Professional Engineer Florida Registration Number 40263

BROWARD COUNTY PLANNING COUNCIL

THIS IS TO CERTIFY: That the Broward County Planning Council approved this plat subject to its compliance with dedication of right-of-way for trafficways this 27th day of August, 2013. By: [Signature] Chairman
This plat complies with the approval of the Broward County Planning Council of the above date and is approved and accepted for record this 19 day of March, 2014. By: [Signature] Executive Director or Designee

BROWARD COUNTY FINANCE AND ADMINISTRATIVE SERVICES DEPARTMENT - COUNTY RECORDS DIVISION - MINUTES SECTION

THIS IS TO CERTIFY: That this plat complies with the provisions of Chapter 177, FLORIDA STATUTES, and was accepted for record by the Board of County Commissioners of Broward County, Florida, this 11th day of February, 2014. ATTEST: BERTHA HENRY - COUNTY ADMINISTRATOR
By: [Signature] Deputy By: [Signature] VICE Mayor - Broward County, Florida

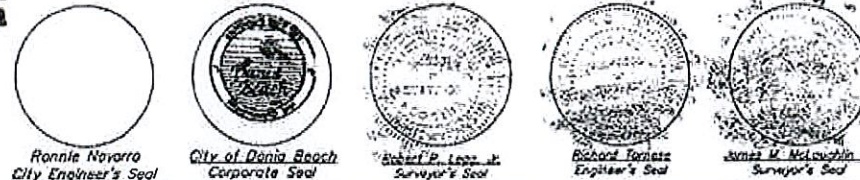
BROWARD COUNTY FINANCE AND ADMINISTRATIVE SERVICES DEPARTMENT - COUNTY RECORDS DIVISION - RECORDING SECTION

This plat filed for record this 21st day of March, 2014, in BOOK 181 of PLATS, at Page 44 verified.
ATTEST: BERTHA HENRY - COUNTY ADMINISTRATOR By: [Signature] Deputy

SURVEYOR'S CERTIFICATE

STATE OF FLORIDA SS I HEREBY CERTIFY: That the attached plat is a true and correct representation of the lands recently surveyed, subdivided and platted under my responsible direction and supervision, that the survey data shown complies with the applicable requirements of Chapter 177, Part 1, FLORIDA STATUTES, and further that the PERMANENT REFERENCE MONUMENTS (P.R.M.'S) were set in accordance with Section 177.091 of said Chapter 177, on this 10th day of February, 2014. The BENCH MARKS shown are referenced to NATIONAL GEODETIC VERTICAL DATUM OF 1929 and were established in conformity with the standards adopted by the National Ocean Survey for Third Order Vertical Control. This plat conforms to all applicable sections of Chapter 5J-12.05, FLORIDA ADMINISTRATIVE CODE.

This plat dated at Fort Lauderdale, Florida, this 30th day of May, 2013.



By: [Signature]
James M. McLaughlin Jr.
Registered Land Surveyor No. 4497
State of Florida
for McLAUGHLIN ENGINEERING COMPANY
Certificate of Authorization Number 285
400 Northeast 3rd Avenue
Fort Lauderdale, Florida 33301

THE FOLLOWING NOTE IS REQUIRED BY THE BROWARD COUNTY SURVEYOR PURSUANT TO CHAPTER 177.091, SUBSECTION(28), FLORIDA STATUTES:

PROVIDE utility easements for the installation, maintenance, and operation of water, sewer, gas, and electric lines, and for the installation, maintenance, and operation of other public utility lines, and for the installation, maintenance, and operation of other public utility lines, and for the installation, maintenance, and operation of other public utility lines...

PLAT RESTRICTION

This plat is restricted to four (4) Single Family Dwelling Units with five (5) Ancillary Boat Slips.

This plat is required by Chapter 2, Article 10, Broward County Code of Ordinances, and may be amended by approval of the Broward County Board of County Commissioners. No violation and any amendments thereto are subject to the approval of the Board of County Commissioners.

Any structure within this plat must comply with Section 17 D.1.1, Development Review Requirements, of the Broward County Land Use Plan, regarding setbacks to be negotiated.

SURVEYOR'S NOTES

Surveys are referenced to an assumed meridian and assume the East line of SCHOONER RIDGE (P.B. 172, PG. 150, B.C.R.) as shown on plat 101-113 West, as referenced by found monuments and replaced with P.R.M.'s at street corners.

Reference Bench Mark, Broward County Bench Mark #3802, Broward County Engineering Department water control basin on the South side of bridge on the East side of road 226 West North of the South end of bridge. Bench Mark Elevation = 22.18 (Bench Mark Elevation is referenced to the 1929 National Geodetic Vertical Datum).

NOTE: This plat, as recorded in its graphic form, is the official depiction of the subdivision herein and all in no circumstances be supported in evidence by any other graphic or digital form of this plat. There may be additional restrictions that are not recorded on this plat that may be found in the public records of Broward County, Florida.

If a building permit for a structure building (including any mobile, sales and distribution offices) and the first inspection approved are not issued by December 31, 2018, which date is five (5) years from the date of approval of this plat by Broward County, then the County's finding of occupancy shall expire and no additional building permits shall be issued until such time as Broward County makes a subsequent finding that the applicant satisfies the occupancy requirements set forth within the Broward County Land Development Code. The owner of the property shall be responsible for providing evidence to Broward County from the appropriate governmental entity, demonstrating compliance with this requirement within the above referenced time frame.

If construction of project water, sewer, gas, and electric lines and the site plan for internal roads have not been substantially completed by December 31, 2018, which date is five (5) years from the date of approval of this plat by Broward County, then the County's finding of occupancy shall expire and no additional building permits shall be issued until such time as Broward County makes a subsequent finding that the applicant satisfies the occupancy requirements set forth within the Broward County Land Development Code. The owner of the property or the agent of the owner shall be responsible for providing evidence to Broward County from the appropriate governmental entity, demonstrating compliance with this requirement within the above referenced time frame.

LEGAL DESCRIPTION

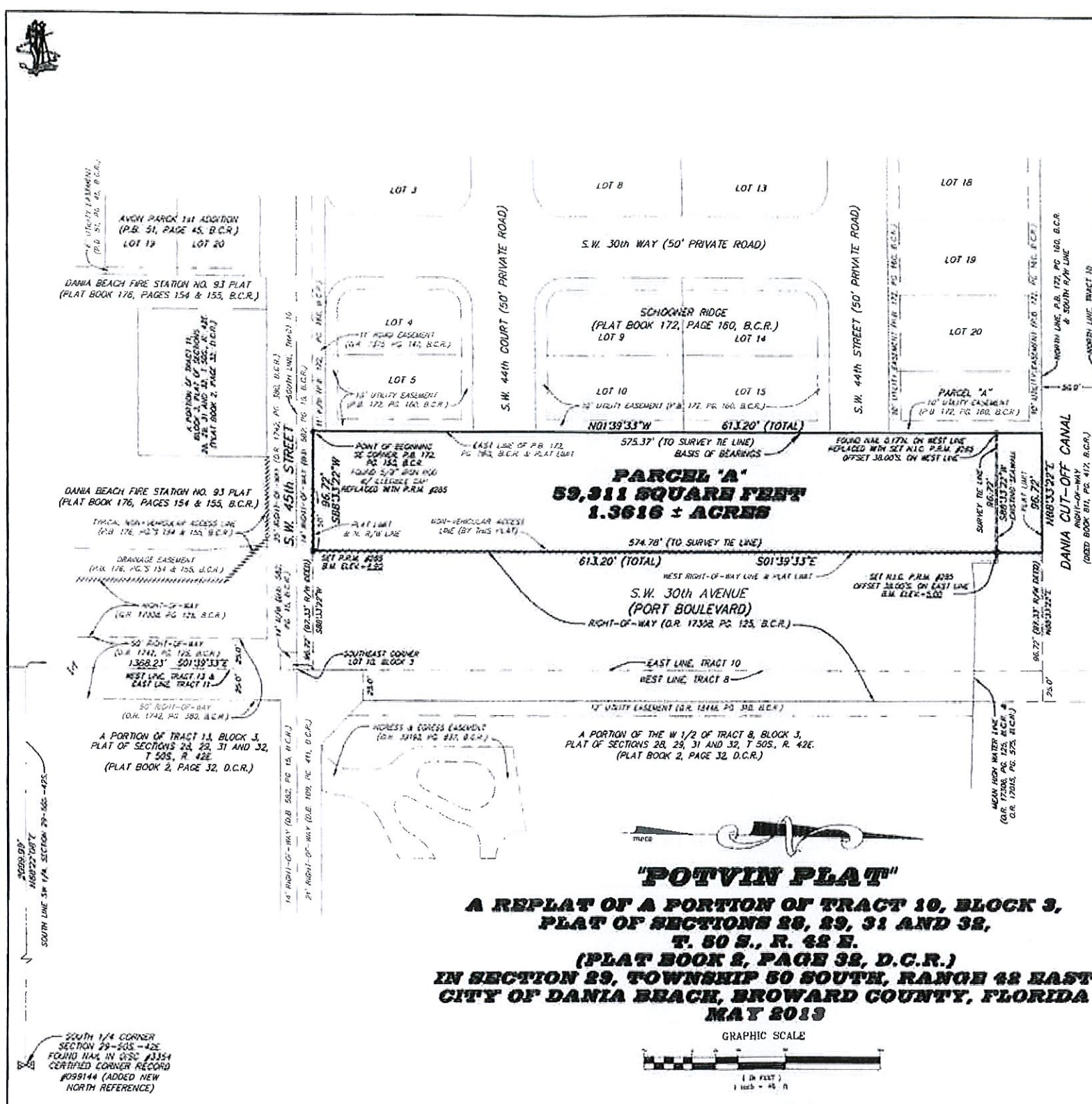
The West one-half (1/2) of the East one-half (1/2) of the East one-half (1/2) of that portion of Tract 10, Block 3, Section 29, Township 50 South, Range 42 East, South of the right-of-way of the Dania Cut-Off Canal and North of the existing 14 feet North of and parallel to the South boundary line of said Tract 10, as per PLAT OF SECTIONS 28, 29, 31 AND 32, T. 50 S., R. 42 E., recorded in Plat Book 2, Page 32, of the public records of Dade County, Florida, and land situate, lying and being in Broward County, Florida, more fully described as follows:

Beginning at the Southeast corner of SCHOONER RIDGE, according to the plat thereof, as recorded in Plat Book 172, Page 150, of the public records of Broward County, Florida; thence North 01°38'13" West, on the East line of said SCHOONER RIDGE, a distance of 613.20 feet; thence North 88°33'22" East, on the Eastern extension of the North line of said SCHOONER RIDGE, being the South right-of-way line of the Dania Cut-Off Canal, a distance of 96.72 feet; thence South 01°38'13" East, on the West right-of-way line of S.W. 30th Avenue per Official Records Book 12105, Page 125, Broward County Records, a distance of 611.93 feet; thence South 89°55'22" West, on the North right-of-way line of S.W. 45th Street, a distance of 96.72 feet to the point of beginning.

Said lands situate, lying and being in the City of Dania Beach, Broward County, Florida and containing 59,311 square feet or 1.3616 acres more or less.

LEGEND:

- P.R.M. - indicates Permanent Reference Monument (4x4x24" concrete post w/metal rod and a 200 cap stamped L&E 205)
H.L.C. P.R.M. - indicates 1/2" or 3/4" Gal. Cap #285 (unless otherwise noted) set in unpolished surface
B.M. ELEV. - indicates Bench Mark Elevation
B.C.R. - indicates Broward County Records
D.C.R. - indicates Dade County Records and Page
M.C. CAP - indicates Mclaughlin Engineering Company Cap
B.C.R. - indicates Dade County Records



'POTVIN PLAT'
A REPLAT OF A PORTION OF TRACT 10, BLOCK 3,
PLAT OF SECTIONS 28, 29, 31 AND 32,
T. 50 S., R. 42 E.
(PLAT BOOK 2, PAGE 32, D.C.R.)
IN SECTION 29, TOWNSHIP 50 SOUTH, RANGE 42 EAST
CITY OF DANIA BEACH, BROWARD COUNTY, FLORIDA
MAY 2019

